

363

KING STREET | CHARLESTON

Up to ±2,554 SF of
High Street Retail For
Lease



BRIDGE
COMMERCIAL

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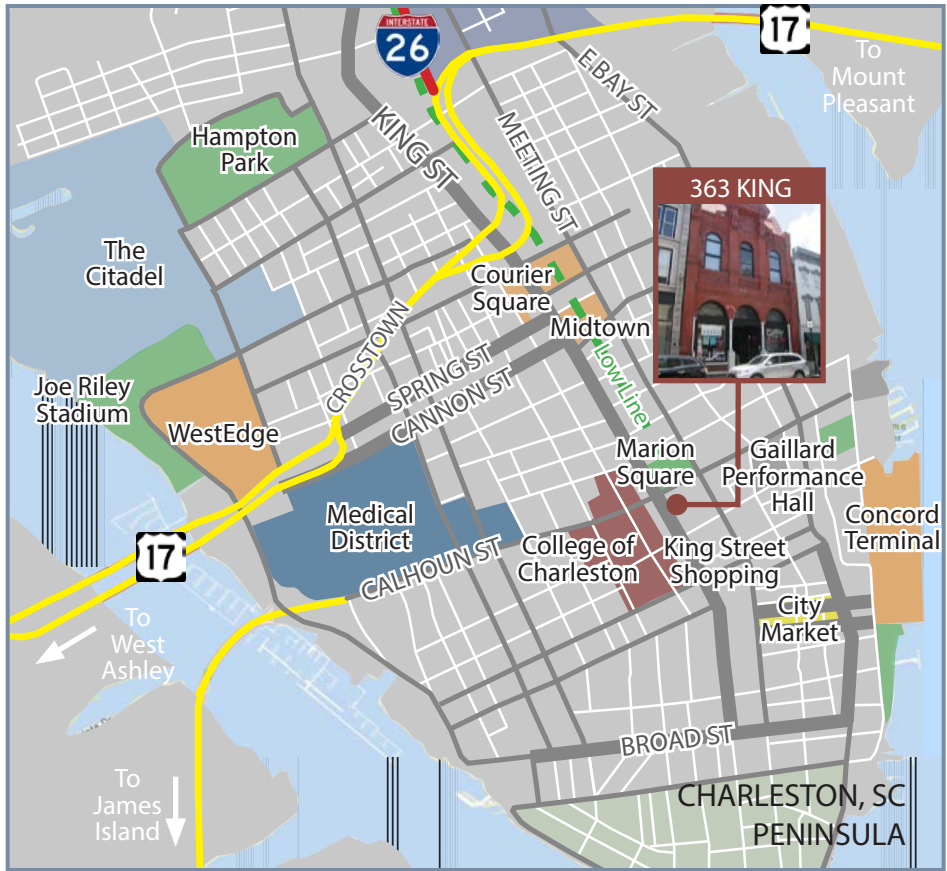


PRIME LOCATION ON MIDDLE KING

363 King Street provides ±2,554 SF of retail frontage on King Street, one of the top shopping destinations in the country. Charleston's King Street is a blend of historic architecture, shopping and dining experiences which has earned the loyalty of locals and continues to attract new shoppers daily. World-class retailers including Apple, Williams Sonoma, West Elm, Brooks Brothers, Louis Vuitton and H&M are located on King. Approximately 5.1 million people visit Charleston annually spending on average \$211 per person per day.

The site is located on Middle King and within steps of Marion Square, close to the College of Charleston, numerous hotels and residences. Sales are peaking in this high pedestrian traffic corridor of King. Proposed improvements to the exterior will enhance storefront windows.

King Street remains the ideal location for retail thanks to it's walking experience and mix of local, regional and national tenants and restaurants. Due to Charleston's land-locked position and booming tourism industry, retail space is limited and in high demand.



Located in the heart of Charleston near King & Calhoun in high pedestrian traffic corridor.



King Street is among the top 10 shopping destinations in the U.S.*
*U.S. News & World Report



Proximate to tourists, day trippers, students and employees. Approximately 5.1 million visitors annually.



Walking distance to numerous hotels, apartments, employers. Walk score: 98



Move-in ready retail space

LOCATION OVERVIEW

A Walker's Paradise

The Charleston Peninsula is approximately two miles wide.

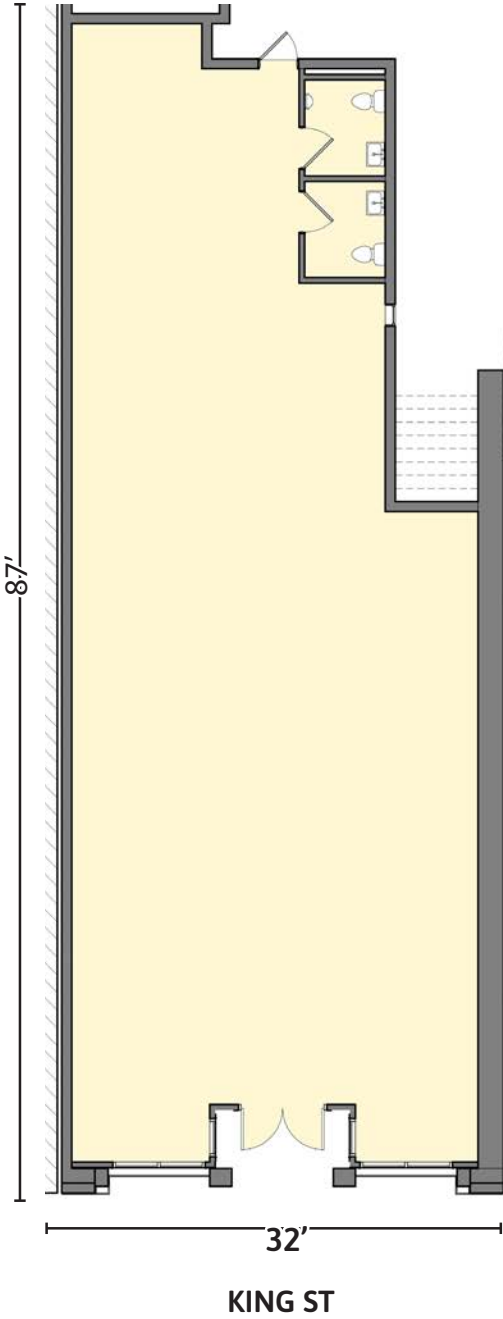
The Property's central location provides a walkable distance to everything downtown including shopping, restaurants, hotels, schools, employers, attractions and parks.



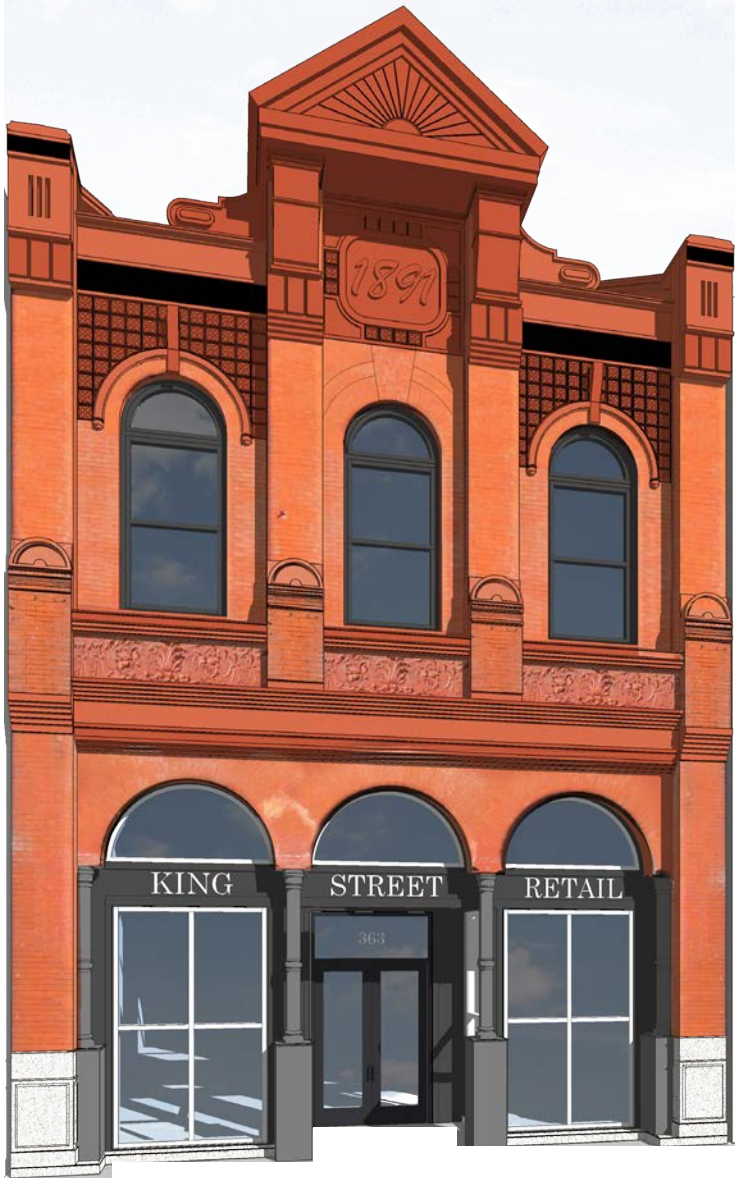
- Points of Interest
- Major Employers
- Schools
- Hotels
- Restaurants
- Retail
- Entertainment

FRONTAGE ON KING

FLOOR PLAN | 2,554 SF



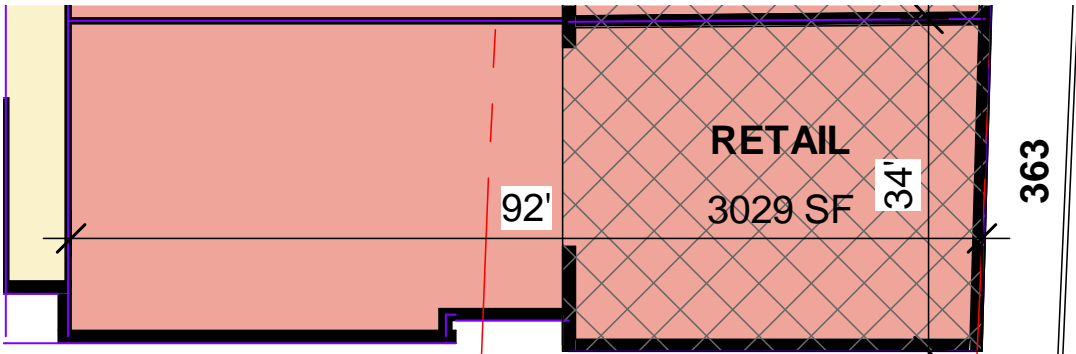
PROPOSED EXTERIOR



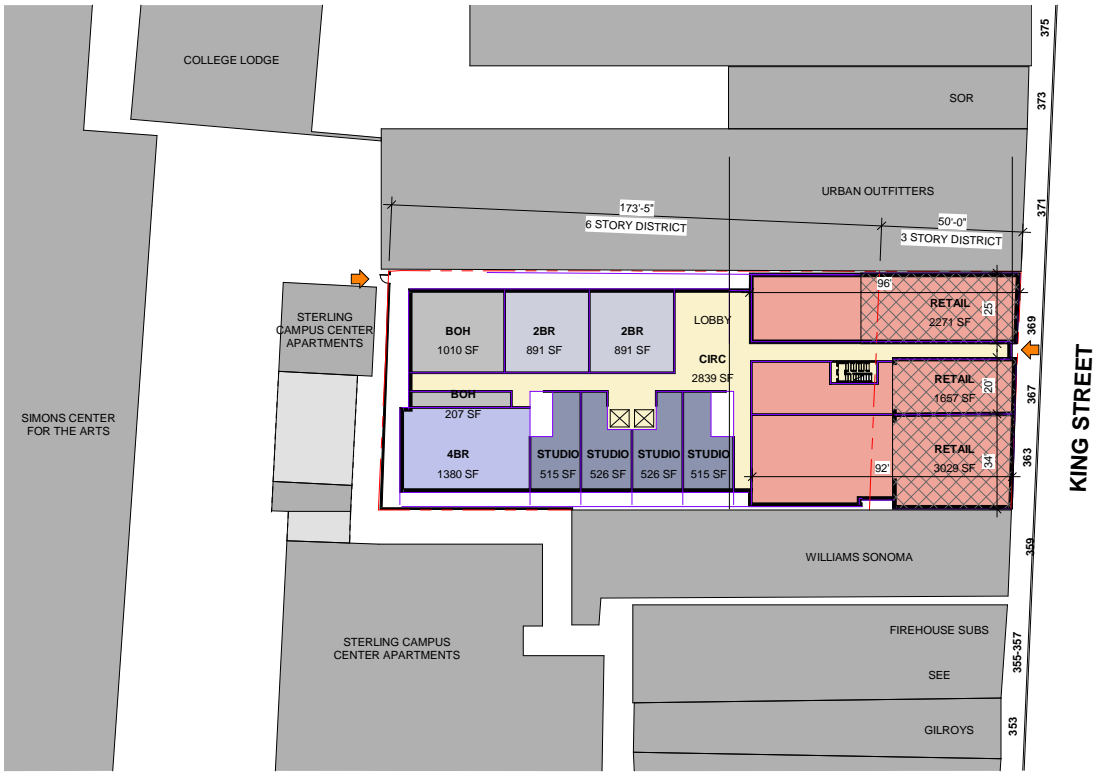
LUXURY REDEVELOPMENT PLAN

The ownership of 363 King Street is currently working through the entitlement process with the City of Charleston to combine 363, 367 and 369 King Street for redevelopment. The plans call for an overhaul of the retail and student housing. This redevelopment will offer larger, more efficient retail bays with ample store frontage couple with the loftiness of new infill multifamily.

FRONT STREET RETAIL



RETAIL & MULTIFAMILY



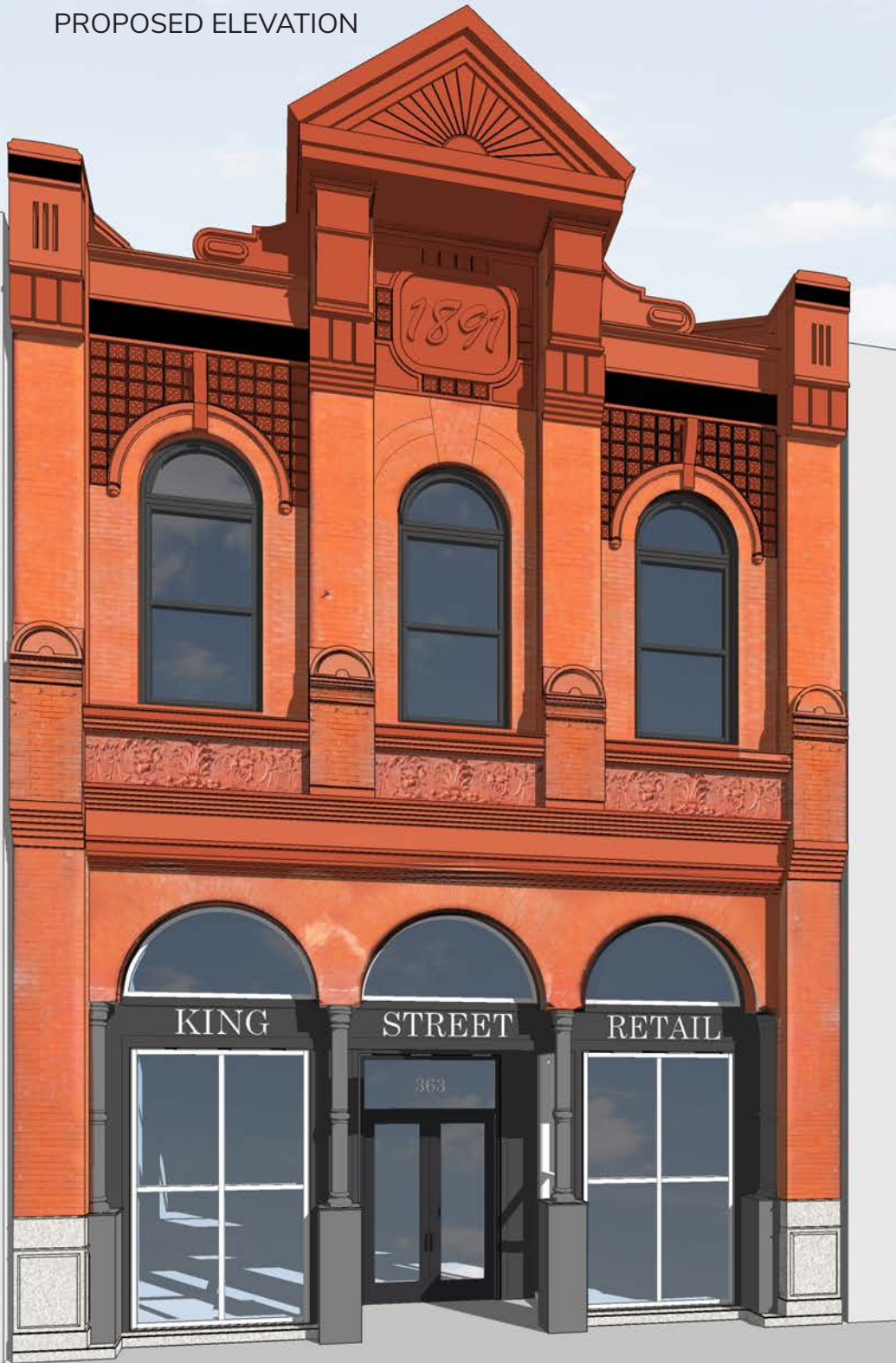
View virtual floorplans

363 King is currently subdivided into two suites, A and B, but will be renovated into one suite.

363-A

363-B

PROPOSED ELEVATION



FOR MORE INFORMATION,
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View virtual floorplans



363-A



363-B

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